



Report of the Chief Planning Officer

CITY PLANS PANEL

Date: 19 May 2022

Subject:

Planning Application 21/08693/FU for a change of use to provide student accommodation, flexible commercial (Class E) and drinking establishment (Sui Generis) use; the partial demolition of existing buildings; erection of a rear extension to Nos. 24-26 Great George Street to provide student accommodation; external alterations; hard and soft landscaping works; and associated works at 24 - 28 Great George Street, Leeds, LS1 3DL

Listed Building Application 21/08694/LI for a change of use to provide student accommodation, flexible commercial (Class E) and drinking establishment (Sui Generis) use; the partial demolition of existing buildings; erection of a rear extension to Nos. 24-26 Great George Street to provide student accommodation; external alterations; hard and soft landscaping works; and associated works at 24 - 28 Great George Street, Leeds, LS1 3DL

APPLICANT

Stirling Prescient No.2 Limited

DATE VALID

21 October 2021

TARGET DATE

20 May 2022 (extended)

Electoral Wards Affected:

Little London & Woodhouse

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: Defer and Delegate application 21/08693/FU to the Chief Planning Officer for approval, subject to the conditions at the Appendix (and any amendment to or addition of others which the Chief Planning Officer considers appropriate) and subject to the completion of a Section 106 agreement to secure the following:

- 1. Employment and training of local people**
- 2. Occupation of the residential units by students only**
- 3. CAVAT sum for replacement tree requirement of £9,824.00**
- 4. Off site highways works contribution of £41,000.00, towards nearby bi-directional cycle lanes and improved crossings for both pedestrians and people on bikes**
- 5. Visitor cycling or e-bikes provision in the vicinity of the development contribution of £10,000.00**
- 6. management fee.**

In the circumstances where the Section 106 has not been completed within 3 months of the Panel resolution to grant planning permission, the final determination of the applications shall be delegated to the Chief Planning Officer.

Defer and Delegate application 21/08694/LI to the Chief Planning Officer for approval, subject to the conditions at the Appendix (and any amendment to or addition of others which the Chief Planning Officer considers appropriate).

Conditions

A list of draft Conditions for both the listed building consent and planning applications is provided in the Appendix of this report..

1.0 INTRODUCTION:

- 1.1 The proposal is put before City Plans Panel as the development has an impact on designated heritage assets within the setting of the Grade I listed Town Hall. This report is a joint report that addresses both the Planning Application 21/08693/FU and Listed Building Consent application 21/08694/LI.

2.0 PROPOSAL:

- 2.1 The proposals are submitted for a change of use of Nos. 24-28 Great George Street to provide student accommodation, flexible commercial (Class E) and drinking establishment (Sui Generis) uses, the partial demolition of the existing buildings, the erection of a rear extension to Nos. 24-26 Great George Street to provide the student accommodation, external alterations, hard and soft landscaping works and associated works.
- 2.2 The student accommodation proposed would be 67 studio apartments ranging from 20 to 42m² set across the upper floors of the listed buildings and within a 7 storey rear infill block. At ground floor level the former Victoria and Commercial public house will be retained for use as a public house and the former Masonic Hall (most recently in use as Shenanigans public house) is proposed to be for flexible commercial (Class E) uses.
- 2.3 Three student's communal spaces are proposed. A student lounge of some 46.2m² in size, a gym/amenity space of some 21.8m² and a second lounge area adjacent the reception area for the scheme of some 18.7m². This gives a total of some 98.2m² for internal communal space for the student residents to use. The scheme also includes a laundry room, for resident use, adjacent to the gym.

- 2.4 Landscaping is proposed to the rear courtyard areas behind the new infill block. These areas would be viewable from apartments overlooking the rear but will only be accessible from individual apartments, due to the location of these spaces. In addition, the existing green/soft landscape area to the eastern end of the site will be refreshed with new planting including replacement trees.
- 2.5 No car parking is proposed as part of this development, but 22 cycle spaces ((13 student long stay, 4 student short stay, and 5 Use Class E) are to be provided.

3.0 SITE AND SURROUNDINGS:

- 3.1 The site was visited by the Case Officer on 15 November 2021 and lies on the northern side of Great George Street, facing the rear of the Grade I listed Town Hall. The site lies within the City Centre Conservation Area. The host buildings are both Grade II listed. The Victoria and Commercial public house (28 Great George Street) is a 4 storey red-brick and marble faced building. The former Masonic Hall (most recently in use as Shenanigans public house) is a four storey (26 Great George Street) and two storey (24 Great George Street) ashlar stone fronted building with a slate roof. The principal frontage has arched ground floor windows that were added in 1995, with original arched windows above. The frontage is decorated with stone mouldings.
Both buildings are currently vacant.
- 3.2 There is an existing landscaped bed to the eastern end of the site which has some low level shrubs and two trees within it.

4.0 RELEVANT PLANNING HISTORY:

- 4.1 Consent was granted for planning permission on 25 May 1995, for a change of use of a public house and courts to 2 public houses each with managers flat and 6 student cluster flats at the Victoria and Commercial Hotel, 24, 26 and 28 Great George Street, Leeds, planning reference 20/1/95/FU.
- 4.2 Consent was granted for a Listed Building application on 26 June 1995 for alterations to form 2 public houses managers flats and 6 student cluster flats at the Victoria and Commercial Hotel, 24, 26 and 28 Great George Street, Leeds, planning reference 20/2/95/LI.
- 4.3 The Applicant asserts that these above applications have been partially implemented by way of the change of use of the former court to a public house and associated internal works (now Shenanigans); the introduction of a new stair core within the central tower (No. 26 Great George Street) providing access to upper levels; and the introduction of living accommodation within the upper levels of 28 Great George Street.

5.0 HISTORY OF NEGOTIATIONS:

- 5.1 There have been pre-application discussions with Officers, since November 2020, prior to the submission of the current applications. These discussions had focused on the uses of the buildings, heritage, design, architectural treatment and materials, residential amenity and quality, highways matters, flood risk and drainage, climate change and sustainability, accessibility and the retention of the Victoria and Commercial public house as a pub use.
- 5.2 The Applicant also had separate pre-application discussions with Historic England.

6.0 PUBLIC/LOCAL RESPONSE:

- 6.1 One letter of objection received from the West Yorkshire Group of the Victorian Society stating that;
- They welcome the continued use of the ground floor of the Victoria hotel as a public house, and the use of the historic sign, as well as some other parts of this application, however:
 - The proposals lack detailed specifications of the new shop fronts at 24 and 26.
 - The staircase of the former Masonic Hall could be retained.
 - The height of the building planned to the rear of the former Masonic Hall means it would be clearly visible from the street and it would significantly alter the rooflines and would downgrade the outlook from the side and back entrances of the Town Hall.

Response:

These points will be addressed in the appraisal below.

- 6.2 Two objections received from Leeds Civic Trust stating that
1. The proposal disregards the quality of that frontage and roof form by presenting a tall, overbearing and dominating structure which will cause harm and will detract from the significance of, particularly, nos. 24-26 Great George Street in views from the south, and the setting of the Town Hall.
 2. The significance of the articulation of the roof forms, including the landmark roof of the George Corson designed no.26, will be lost against the bulk of the extension behind it.
 3. The existing block of flats to the north already presents a poorly designed backdrop to the listed buildings, however, any proposal in the narrow gap between them should remain below an imaginary line extending the southern roof plane of no. 26 up to both screen the side of the existing flats and provide a step down from them to no. 26. In that way, the southern elevation facing Great George Street would remain the dominant element, enhancing the setting of the Town Hall.
 4. That reaching agreements behind closed doors prior to any public comment will inevitable reduce the likelihood of further changes.
 5. That there is nothing in the existing building's layout that would prevent them being brought back in to use without the extension.
 6. That the minor beneficial effect of the screening of the rear of the existing blank wall of the block to the rear of the site is not sufficient justification for the extension.

Response;

Comments 1, 2, 3, 5 and 6 will be addressed in the appraisal below.

In respect of Comment 4 the Applicant has stated that they wrote to Leeds Civic Trust, via letter, on 24th August 2020 as part of their pre-application consultations and that in this they invited comments on the proposals and offered a briefing if required. The Applicant states that no response was received in return.

There have been preapplication discussions with Officers, as well as directly with Historic England, by the Applicant. By their nature, preapplication discussions tend to be confidential until the scheme is at a point where it is felt by the Local Planning Authority (LPA) that the scheme can be presented as a preapplication proposal to Members at City Plans Panel.

Pre-application advice given by the LPA is Officer opinion and is not a decision. As is the general approach taken by Leeds LPA, the preapplication discussion with Officers in this case were caveated with a statement to the Applicant by the LPA, that the Officer advice provided cannot deliver a guaranteed decision because:

- formal applications are subject to a wider consultation process and issues may come to light that are not known at the time of giving the advice.

- the views given will be current at the time of giving the advice but changes in planning circumstances and policy will need to be taken into account when the application is decided; and
- larger and/or more contentious applications may be decided by a plans panel made up of elected members. Whilst the panel will have an officer report and recommendation to consider, members may decide to give different weight to key issues and other material considerations, in arriving at their decision.

6.3 Objection received from the Little Woodhouse Neighbourhood Plan Forum stating that;

- The new build element is too tall and as such is out of character with the listed buildings and it should be reduced to the height of the adjacent Portland Place building of height.
- If student accommodation continues to be the default option for developers this will result in a very skewed population demographic in the city centre.
- The external appearance of the new build element has a very disappointing design with insignificant window features and using a surface material which will look old and tired within a decade.
- Green space is going to be an issue and the blank facade of Shenanigans (facing onto Calverley Street) could be turned in to a 'green wall' with enhanced planting in the small plot currently occupied by the tree.
- The concentration of students will result in a considerable number of vehicle movements, delivery vehicles fulfilling on-line purchases, taxi and private hire for the students on nights/evenings out , and the inevitable take-away deliveries. Consideration needs to be given to some traffic calming measures on this stretch of road.
- Some of the amenity space should be turned into a small laundrette.
- Microwave ovens are a very minimalist approach to a 'kitchenette' in each studio.
- In respect of refurbishment of the windows in Shenanigans, the removal of the gothic arched windows, although a later addition, would be detrimental to the appearance of the area.

Response:

These comments will be addressed in the appraisal below.

6.4 A meeting was held by the Applicant with Councillor Brooks and Officers to allow the Applicant to talk through the proposals. Councillor Brooks made the following comments;

1. That the new block is too high and should be reduced by one storey.
2. That's the Developer should consult with the Little Woodhouse Community Association (LWCA) .
3. That there is not a convincing case that Purpose Built Student Accommodation (PBSA) is leading to a direct reduction in the demand for Houses in Multiple Occupation accommodations, but there is an acceptance that in this location, PBSA would not have a negative impact on existing residential communities.

Responses:

In respect of comment 1 the Developer has stated that to reduce the extension by one storey would affect the viability of the scheme.

In respect of comment 2 such consultation has been undertaken by the Developer and comments from LWCA are detailed above.

7.0 CONSULTATION RESPONSES:

7.1 **Historic England** state that they welcome the dialogue that has taken place at pre-application stage and acknowledge the positive manner in which the scheme has evolved.

They state that;

- The effective amalgamation of this collection of buildings into a single use does result in a degree of harm due to the loss of individual integrity.
- The scale of the insertion to the rear is challenging, given its impact on views of the listed buildings from the south and relatively assertive presence within the townscape.
- Despite the degree of harm referred to above they acknowledge the benefit of bringing the long-vacant upper floors of these buildings back into use, the principle of which was agreed but never fully implemented under a previously consented scheme.
- The access to upper floors will further activate the street frontage to Great George Street.
- While substantial, the scale of the new block has been reduced so that it deviates only slightly from the established scale to Calverley Street
- The thin glazed element and the proposed treatment to the gable of No 24 will be beneficial to the street frontage.
- The additional block will be extremely prominent in views from the south, forming the backdrop to the listed buildings and a strong horizontal silhouette against the sky, however, the architectural approach is commendably restrained, will employ a good quality material and screens the unattractive elevation currently visible to the rear.

Finally, Historic England state that they support the applications on heritage grounds.

- 7.2 **Flood Risk Management** state that they have no objections provided that drainage is brought forward in accordance with the document Rosco's Foul & Surface Water Drainage and Flood Risk Assessment Revision 2 dated October 2021, which is to form part of the approved documents on any approval for this scheme.
Response: A Planning Condition will be applied to ensure accordance with this document.
- 7.3 **West Yorkshire Police** no comments received.
- 7.4 **Environmental Studies - Transport Strategy** state that they have no objection to this development in terms of its being affected by transportation noise and that (in regard to) Defra's strategic noise maps and the layout and orientation of the proposed dwellings, noise from road traffic is unlikely to be of a level that would require specific measures over and above standard building elements.
- 7.5 **Employment and Skills** no comments received.
- 7.6 **Access Officer** states that accessible accommodation i.e. student bedrooms need to be identified that comply with Part M of the Building Regulations.
Response; the Applicant has stated that the scheme does satisfy this by providing 4 compliant rooms - rooms 03 & 04 on 1st floor and rooms 27 & 28 on 3rd floor.
- 7.7 **Highways** state that given the constraints of the site, high quality accessible cycle parking is favoured over quantity. This will need to be Conditioned and for discharge of the said Condition the applicant should look to provide Sheffield stands with the appropriate spacing of 1.0m between stands (1.2m for non-standard and access bikes) where possible, even if it reduces the number of overall long stay cycle parking spaces.
For short-stay cycle parking, due to the lack of available space within the site, a contribution of £10,000 will be required as part of the S106 agreement to enable

cycle parking/ rental eBikes to be provided as part of a future scheme within the city centre.

Response: Such a Planning Condition and S106 obligation will be applied.

- 7.8 **Influencing Travel Behaviour** state that the development proposal is below the threshold for an obligatory travel plan for student accommodation. .
- 7.9 **City Services Streetscene Services** have given guidance on bin storage, access to bins, and bin dimensions.
- 7.10 **Landscape** state that tree and other planting should be subject to a condition and that a CAVAT obligation is required for the shortfall in tree replacement of £2,456 per tree, with 4 trees needing to be replaced to make up the shortfall for the compliance with Policy LAND2. This gives a total figure of £9,824.00.
Response: Such a planning condition will be applied and the CAVAT obligation will be addressed via the S106 legal agreement.
- 7.11 **Local Plans** no comments received.
- 7.12 **Coal Authority** state that that coalmining legacy potentially poses a risk to the proposed development and that intrusive site investigation works should be undertaken prior to development in order to establish the exact situation regarding coal mining legacy issues on the site and that this matter should be Conditioned.
Response: Such Planning Conditions will be applied.
- 7.13 **Cycling Officer** there are proposed cycle link improvements in the area next to the proposed development and the scheme should make an appropriate contribution to these planned works.
Response: A contribution of £10,000 will be required as part of the S106 agreement to enable cycle parking/ rental eBikes to be provided as part of a future scheme within the city centre.
- 7.14 **Environmental Health Services (Pollution Control)** no comments received.
- 7.15 **Health and Safety Executive** state that they are satisfied with the information provided with the application, including the fire statement.
- 8.0 RELEVANT PLANNING POLICIES:**
- 8.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the application to be determined in accordance with the development plan unless material considerations indicate otherwise.
- 8.2 The Development Plan for the purposes of determining this proposal currently comprises the following documents:
1. Core Strategy 2014 (as amended by the Core Strategy Selective Review 2019)
 2. Saved Leeds Unitary Development Plan Policies (Reviewed 2006), included as Appendix 1 of the Core Strategy
 3. The Natural Resources & Waste Local Plan (NRWLP, Adopted January 2013) including revised policies Minerals 13 and 14 (Adopted September 2015).
 4. Leeds Site Allocation Plan 2019
- 8.3 **Core Strategy**

- 8.4 The Core Strategy sets out strategic level policies and vision to guide the delivery of development investment decisions and the overall future of the district. Relevant Core Strategy policies are as outlined below.
- 8.5 Spatial Policy 1: Location of Development states that;
 (i) The majority of new development should be concentrated within urban areas taking advantage of existing services, high levels of accessibility and priorities for urban regeneration and an appropriate balance of brownfield and Greenfield land
- 8.6 Spatial Policy 3: Role of Leeds City Centre states that the importance of the City Centre as an economic driver for the District and City Region will be maintained and enhanced by:
 (iv) Comprehensively planning the redevelopment and re-use of vacant and under-used sites and buildings for mixed use development and new areas of public space;
- 8.7 Policy CC1: City Centre Development
 The City Centre will be planned to accommodate at least the following:
 (iii) 10,200 dwellings.
 b) Encouraging residential development including new buildings and changes of use of existing providing that it does not prejudice the town centre.
 Addressing where and how much A1 retail is appropriate.
- 8.8 Policy EN1: Climate Change – Carbon Dioxide Reduction states that all developments of over 1,000 square metres of floorspace, (including conversion where feasible) whether new-build or conversion, will be required to:
 (i) Reduce total predicted carbon dioxide emissions to achieve 20% less than the Building Regulations Target Emission Rate and,
 (ii) Provide a minimum of 10% of the predicted energy needs of the development from low carbon energy.
- 8.9 Policy EN2: Sustainable Design and Construction states that
 Non-residential developments of 1,000 or more square metres (including conversion) where feasible are required to meet the BREEAM standard of 'excellent'.
 Residential developments of 10 or more dwellings (including conversion) where feasible are required to meet a water standard of 110 litres per person per day.
- 8.10 Policy EN4: Where technically viable, appropriate for the development, and in areas with sufficient existing or potential heat density, developments of 1,000 sqm or more or 10 dwellings or more (including conversions where feasible) should propose heating systems.
- 8.11 Policy H6: Houses in multiple occupation (HMOs), student accommodation and flat conversions states:
 B) Development proposals for purpose-built student accommodation will be controlled:
 (i) To help extend the supply of student accommodation taking pressure off the need for private housing to be used,
 (ii) To avoid the loss of existing housing suitable for family occupation,
 (iii) To avoid excessive concentrations of student accommodation (in a single development or in combination with existing accommodation) which would undermine the balance and wellbeing of communities,
 (iv) To avoid locations which are not easily accessible to the universities by foot or public transport or which would generate excessive footfall through residential areas which may lead to detrimental impacts on residential amenity,

(v) The proposed accommodation provides satisfactory internal living accommodation in terms of daylight, outlook and juxtaposition of living rooms and bedrooms.

- 8.12 Policy H9 – Minimum Space Standards states:
Development of student accommodation and houses in multiple occupation (HMOs) will not be subject to the space standards Instead such development should reflect the nationally described space standards with appropriate adjustments to address the particular characteristics of these types of development. They should also meet standards of general amenity for occupiers to include adequate space, light and ventilation. Further guidance will be provided through a Supplementary Planning Document.
- 8.13 Policy H10 Accessible Housing Standards states:
New build residential developments should include the following proportions of accessible dwellings:
- 30% of dwellings meet the requirements of M4(2) ‘accessible and adaptable dwellings’ of Part M Volume 1 of the Building Regulations.
 - 2% dwellings meet the requirement of M4 (3) ‘wheelchair user dwellings’, of Part M Volume 1 of the Building Regulations.
- 8.14 Policy P10: Design states that: New development for buildings and spaces, and alterations to existing, should be based on a thorough contextual analysis to provide good design appropriate to its scale and function.
New development will be expected to deliver high quality innovative design that has evolved, where appropriate, through community consultation and which respects and enhances the variety of existing landscapes, streets, spaces and buildings according to the particular local distinctiveness and wider setting of the place, contributing positively towards place making and quality of life and be accessible to all.
- 8.15 Policy P11: Conservation states that development proposals will be expected to demonstrate a full understanding of historic assets affected. Heritage statements assessing the significance of assets, the impact of proposals and mitigation measures will be required to be submitted by developers to accompany development proposals
- 8.16 Policy P12: Landscape states that;
The character, quality and biodiversity of Leeds’ townscapes and landscapes, including their historical and cultural significance, will be conserved and enhanced to protect their distinctiveness through stewardship and the planning process
- 8.17 Policy T1: Transport Management states that support will be given to the following management priorities:
c) To support wider transport strategy objectives for sustainable travel and to minimise congestion during peak periods.
- 8.18 Policy T2: Accessibility Requirements and New Development states that new development should be located in accessible locations that are adequately served by existing or programmed highways, by public transport and with safe and secure access for pedestrians, cyclists and people with impaired mobility:
(i) In locations where development is otherwise considered acceptable new infrastructure may be required on/off site to ensure that there is adequate provision for access from the highway network, by public transport and for cyclists,

pedestrians and people with impaired mobility, which will not create or materially add to problems of safety, environment or efficiency on the highway network.

- 8.19 **Leeds Unitary Development Plan Review 2006 - Retained Policies**
Policy GP5 (All planning considerations)
Policy BD4 (Mechanical plant and servicing for new developments)
Policy BD5 (Residential amenity)
Policy CC2 (City Centre boundary)
Policy N15 (Changes of use of listed buildings)
Policy N16 (Extensions to listed buildings)
Policy N17 (All listed buildings)
- 8.20 **Leeds Natural Resources and Waste DPD 2013 including revised policies Minerals 13 and 14 (Adopted September 2015).**
- 8.21 The plan sets out where land is needed to enable the City to manage resources, like minerals, energy, waste and water over the next 15 years, and identifies specific actions which will help use natural resources in a more efficient way. Policies regarding land use, energy, drainage, coal recovery and waste will be relevant to this proposal and in particular Policy LAND2 which states;
Development should conserve trees wherever possible and also introduce new tree planting as part of creating high quality living and working environments and enhancing the public realm.
Where removal of existing trees is agreed in order to facilitate approved development, suitable tree replacement should be provided on a minimum three for one replacement to loss. Such planting will normally be expected to be on site, as part of an overall landscape scheme.
Where in certain circumstances on-site planting cannot be achieved, for example due to lack of suitable space in City Centre locations, off-site planting will be sought, or where the lack of suitable opportunity for this exists, an agreed financial contribution will be required for tree planting elsewhere.
Planting design and specification should in all cases meet the current best practice
- 8.22 **Supplementary Planning Guidance**
- 8.23 Sustainable Design and Construction Supplementary Planning Document (August 2011).
- 8.24 Adopted Supplementary Planning Document 'Travel Plans' (February 2015)
- 8.25 Houses in Multiple Occupation (HMOs), Purpose Built Student Accommodation (PBSA) and Co-Living Amenity Standards SPD (draft)
- 8.26 Accessible Leeds Supplementary Planning Document adopted November 2016.
- 8.27 **The Site Allocations Plan (Adopted July 2019)**
- 8.28 The Site Allocations Plan was adopted in July 2019. Following a statutory challenge, Policy HG2, so far as it relates to sites which immediately before the adoption of the SAP were within the green belt, has been remitted to the Secretary of State and is to be treated as not adopted. All other policies within the SAP remain adopted and should be afforded full weight.
- 8.29 The Site Allocations Plan (SAP) states that Leeds City Centre is the main retail and service centre for the city. The site is located within the designated City Centre and

is within the demise for Policy RTC1: Great George Street Local Convenience Centre, as well as a designated Housing Market Characteristic Area.

8.30 **National Planning Policy Framework (NPPF)**

- 8.31 The National Planning Policy Framework (NPPF) was revised in 2021 and sets out the Government's planning policies for England and how these should be applied
- 8.32 Paragraph 11 of the NPPF states that plans and decisions should apply a presumption in favour of sustainable development.
- 8.33 Paragraph 110 of the NPPF states that priority should be given to pedestrian and cycle movements; the needs of people with disabilities and reduced mobility addressed; creation of safe, secure and attractive spaces; allow for the efficient delivery of goods; and be designed to enable use by sustainable vehicles.
- 8.34 Paragraph 124 of the NPPF states that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process
- 8.35 The NPPF clearly identifies the importance of well-designed places and the need for a consistent and high quality standard of design. Paragraph 127 states that decisions should ensure that developments:
- a) Will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
 - b) Are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
 - c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
 - d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
 - e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
 - f) Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience..
- 8.36 Chapter 14 identifies the approach to meeting the climate change challenge. New development should avoid increased vulnerability to the range of impacts arising from climate change and should be planned so as to help reduce greenhouse gas emissions, such as through its location, orientation and design (paragraph 150)..
- 8.37 Paragraph 190 of the NPPF states that plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:

- (a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;
- (b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- (c) the desirability of new development making a positive contribution to local character and distinctiveness; and
- (d) opportunities to draw on the contribution made by the historic environment to the character of a place.

8.38 Paragraph 197 of the NPPF states that In determining applications, local planning authorities should take account of:

- (a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- (b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- (c) the desirability of new development making a positive contribution to local character and distinctiveness.

8.39 Paragraph 202 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

8.40 Other Legislation

8.41 Section 66 of the Planning (Listed Building and Conservation Areas) Act 1990 (the “Listed Building Act 1990”) reads:
 “In considering whether to grant planning permission... for a development which affects a listed building or its setting, the local planning authority...shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”

8.42 Similarly, Section 72 of the Listed Building Act 1990 reads:
 (1) In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.
 (2) The provisions referred to in subsection (1) are the planning Acts and Part I of the Historic Buildings and Ancient Monuments Act 1953 and sections 70 and 73 of the Leasehold Reform, Housing and Urban Development Act 1993

9.0 MAIN ISSUES

1. Principle of the proposed demolitions and the proposed mix of uses
2. Residential Amenity
3. The impact on the character and appearance of the host buildings, street scene and conservation area
4. Landscape proposals
5. Sustainable Transport and Travel Planning
6. Sustainability and Climate Change
7. Access and Inclusion
8. Safety and Security
9. S106 legal agreement

10.0 APPRAISAL

10.1 Principle of the proposed demolitions and the proposed mix of uses

10.2 The proposal is for student accommodation to the upper floors of the existing part listed building and to the new roof extension, at a site within the designated City Centre. Commercial spaces under Use Class E and as a public house are proposed at basement, ground and first floor.

10.3 Policy CC1 of the Core Strategy supports the creation of residential dwellings in the City Centre on the proviso that they provide sufficient amenity for occupiers and do not prejudice the other functions of the City Centre.

10.4 The Little Woodhouse Neighbourhood Plan Forum have raised an objection to the use being student accommodation, citing concerns about the potential for a skewed population demographic. Core Strategy H6B addresses the specific requirements of student housing proposals. It has been established that there are approximately 38,000 university students in the city presently without access to purpose-built student accommodation suggesting that additional provision of such accommodation is unlikely to result in an over-supply of purpose-built student accommodation in the near future. Leeds Core Strategy paragraph 5.2.26 states that growth in new purpose built student accommodation is to be welcomed in order to meet need and to deflect pressure away from private rented houses in areas of over-concentration

10.5 The proposal is therefore considered against the criteria set out below within the adopted policy H6B (identified in italics):

(i) To help extend the supply of student accommodation taking pressure off the need for private housing to be used.

The provision of 67 student studios would help to reduce the need to use private housing for student accommodation.

(ii) To avoid the loss of existing housing suitable for family accommodation.

The existing buildings on the site were last used as two public houses and their conversion would result in them being used for the provision of student accommodation, with a public house and E Class Use below. The development would therefore not involve any loss of existing housing and would avoid the loss of residential family accommodation.

(iv) To avoid locations which are not easily accessible to the universities.

The site is within the City Centre and is well-placed with regard to access to Leeds Beckett University, the Leeds University of Arts and the University of Leeds.

10.6 Criteria (iii) and (v) of policy H6B are considered in the Amenity section below.

10.7 The existing buildings comprise predominantly public house/drinking establishment space, with former (long term vacant) hotel use above. As stated above, Core Strategy Policy CC1 encourages residential development including changes of use of existing buildings, providing the proposals do not prejudice the town centre functions of the City Centre. The site has Primary and Secondary Shopping Frontages designated in the Site Allocation Plan and is within the designated City Centre.

- 10.8 Recent changes to the Use Class Order has introduced a new E Use Class. The new Class E replaces previous use Classes A1/2/3, B1, D1 (a-b) and the 'indoor sport' use from class D2 (e).
- 10.9 Class E covers retail sale of goods, other than hot food, the sale of food and drink for consumption (mostly) on the premises, financial services, professional services (other than health or medical services), other appropriate services in a commercial, business or service locality, indoor sport, recreation or fitness (not involving motorised vehicles or firearms), medical or health services (except the use of premises attached to the residence of the consultant or practitioner), crèches, day nurseries or day centres, offices, research and development of products or processes and Industrial processes.
- 10.10 It is proposed to place commercial uses at the ground and first floor levels of Use Class E uses type, in the former Shennigans public house. At the ground floor of the former Victoria Family and Commercial Hotel public house the use will be a Sui Generis drinking establishment/public house. These uses would allow the building to retain a ground floor commercial presence, that would add to the vibrancy and vitality of the daytime and evening economies of Leeds City Centre and would be in accordance with Core Strategy policy CC1.
- 10.11 Residential Amenity
- 10.12 Criteria (iii) of Core Strategy policy H6B aims to avoid excessive concentrations of student accommodation which would undermine the balance and wellbeing of communities.
- 10.13 Paragraph 5.1.14 of the CS states that the City Centre remains a good location for Purpose Built Student Accommodation although excessive concentrations should be avoided. Whilst the city centre has seen a significant increase in student residential use in recent years, that area also comprises significant numbers of private rental apartments and a wide mix of commercial uses such that, despite the concentration, the use has been successfully integrated with a beneficial effect in supporting City Centre businesses.
- 10.14 Great George Street is a key road within Leeds' city centre with a broad mix of uses ranging from small scale office, residential, hospital and civic buildings, small scale retail and food and drink uses. There are some emerging student residences further along the street to the east and to the north closer to the universities. As such the overall city centre character of this area is still one of a vibrant mix of uses including residential uses. It is therefore not considered that existing businesses and local residents would be adversely affected by student accommodation in the proposed location, given the area's busy mixed use nature and the manner in which purpose-built and converted student accommodation is managed. It is more likely that the students would help to support existing businesses within the City Centre. Whilst the site may be somewhat quieter during out of terms times, it is part of the dynamic city centre of Leeds, close to the Leeds General Infirmary, Becketts University and the University of Leeds, and it will have active ground floor commercial uses. As such, this area is likely to remain busy during both term and non-term times. Further, the development's proximity and geographical orientation to the main university campuses is such that more established, residential communities on the edges of the city centre would not be adversely affected by the development.

- 10.15 Criteria (v) of policy H6B requires that the proposed accommodation provides satisfactory internal living accommodation in terms of daylight, outlook and juxtaposition of living rooms and bedrooms.
- 10.16 Core Strategy Policy P10 and Saved UDPR Policies BD5 and GP5 provide more general requirements that development should contribute positively towards quality of life and provide a reasonable level of amenity and useable space. The assessment of amenity is also a wider consideration of qualitative factors including arrangement and separation of living functions (general living, sleeping, studying, eating, cooking, food preparation, storage and circulation), usable shape, daylighting, outlook, privacy and external amenity space.
- 10.17 Officers and Members have visited several student housing schemes to review the level of amenity provided for occupiers. These include Fresh Student Living at Darley Bank in Derby (April 2014) where the studio was 22m²; Downing's Cityside, Calverley Street, Leeds (May 2016) where the student show flat was also 22m²; Vita Student's Telephone House, Sheffield (September 2016) where the average studio size was 20m²; and in March 2018 Unite's development at Angel Lane, Stratford where Members viewed a 10 bedroom cluster flat where the cluster bedrooms of 11m² were supported by 23m² kitchen/living spaces, together with other internal and external amenity space located around the building. Most recently, Members visited the Vita St Alban's Place development in October 2019. Members viewed the communal facilities located at the lower levels of the building and two student studios, the smallest of which had a floor area of 20m².

10.18 City Plans Panel has previously approved the following student accommodation developments in the wider area:

- Vita St Alban's Place, in which the smallest studios is 20m² (78% of the total provision). In approving the scheme, it was recognised that the size of the majority of the studios would be restricted, providing little or no opportunity for socialising. However, each studio was found to benefit from a good outlook, natural daylighting and a suitable noise environment. In order to provide acceptable levels of amenity and communal living the studios are supplemented by 653m² of communal amenity space for 376 studios.
- Symons House, Belgrave Street (17/06605/FU) where the smallest studio is 21.3m². 2 to 5 bedroom clusters in that development have 14m² bedrooms with kitchen/living spaces increasing in size from 21-43m². 748m² of additional communal amenity space was provided.
- Hume (Altus) House, Wade Lane (18/01819/FU) comprises a mixture of studios (22m²) and 4, 5 and 6 bedroom clusters with 21-35m² kitchen/amenity space, the area depending upon the size of the cluster. 546m² of communal amenity space was provided.
- Unite, Merrion Way (18/05738/FU) scheme comprises 4, 5 and 7 bedroom clusters with 23-40m² kitchen/amenity space, and 30m² studios. 1,344m² of additional internal communal amenity space was provided for the 976 bedspaces.
- 44 Merrion Street (20/01965/FU) comprises 5 bedroom cluster flats, the smallest bedroom of which would be 12.8m² with a kitchen/diner (15.2m²) and have shared access with an adjacent cluster to a lounge (18.4m²); and studios the smallest of which would be 20m² albeit a range of sizes is proposed dependent upon location within the development. A total of 660 bedrooms would be supported by 1,073m² of internal communal space, in addition to external space.
- 115 - 125 Briggate (Debenhams) where the studio flats would range from 20- 36m², whilst double sized-duel occupancy studios would range from 32-50m². A total of

124 bedrooms would be supported by internal communal space (384m²) and external space (370m²).

In each of these purpose-built student schemes, the dedicated additional amenity spaces within the building were considered critical in providing overall acceptable levels of amenity for the occupiers of the development.

- 10.19 For this scheme, with studios ranging from 20 to 42m² the total amenity space would be 98.2m², giving 1.46m² per student occupant (the draft Houses in Multiple Occupation (HMOs), Purpose Built Student Accommodation (PBSA) and Co-Living Amenity Standards SPD requires 1m² of general communal space (e.g. common rooms) to be provided per bedspace).
- 10.20 The format of the proposed scheme is 67 units of accommodation, all to be studio flats ranging from 20 to 42m². Due to the layout of the scheme some of these studios have outlooks and gain light from the rear courtyard, to the north of the proposal. The Applicant has undertaken a daylight and sunlight assessment which states that the vertical sky component (VSC) is not achieved. This is a test that measures the windows surface and as a result of the failure to pass the test, further analysis of the proposed interior of the rooms was undertaken by way of an average daylight factor (ADF) analysis and a no skyline criteria (NSC analysis). The scheme passed these further assessments. However, to improve amenity further 6 of the proposed oriel windows are to include glazing to their roofs.
- 10.21 In respect of privacy and outlook, consideration has been given to how this can be achieved when the rear courtyard is narrow, with office and residential uses to the northern side. The oriel windows would be 3.6m up to 7m from the face of the buildings to their rear, in which there are office windows and windows to the staircore of an existing residential block. As such the faces of the windows on to the buildings at the rear would be opaque glazed (up to a height of 1.7m of the windowpane). In addition, these windows would be angled such that long views down the courtyard are also achieved through angle clear panes, giving views with depths ranging from 14.9 to 36m along the courtyard.
- 10.22 The Little Woodhouse Neighbourhood Plan Forum request that the developer consider providing an in-house launderette and that more cooking facilities than just microwave ovens are provided. The Applicant has revised their plans to include a laundry room, for the use of residents, that would be positioned adjacent to the resident's gym. The final fit out of rooms is a matter of the Applicant to address, however they were made aware of the request for more cooking facilities in the final fitout, at a presentation they gave to the said Forum.
- 10.23 The impact on the character and appearance of the host buildings, street scene and conservation area
- 10.24 To facilitate the scheme a number of demolitions are required. Within 24 and 26 Great George Street the former Masonic Hall (the former Shennigans), at basement level some internal walls and the base of a staircase are to be removed. At ground floor, first, second, third and fourth floor levels, the rear wall of the buildings, part of the gable end wall facing Nelson Mandela Gardens, internal walls, stairs, pub fixtures and fittings will be removed. In addition, the later added ground floor frontage is to be removed, to be replaced by new, but contextually appropriate, shopfronts. Within 28 Great George Street (the former Victoria Family and Commercial Hotel), at first, second, third and fourth floor levels, some existing openings in the rear wall of the building, internal walls and rear located stairs are to

be removed. On the buildings there is to be removal of the rear roof plains to allow for the insertion of the new infill building.

- 10.25 In respect of these demolitions, the West Yorkshire Group of The Victorian Society have raised an objection to the removal of the staircase of the former Masonic Hall. Assessment of the staircase on site by Conservation and Planning Officers have concluded that this stair is not original and its removal and replacement with a new staircase, would not be of any significant detriment to the special character of the former Masonic Hall.
- 10.26 Leeds Civic Trust have also raised concerns regarding the impact of the development's demolitions on the articulation of the roof form of the host listed buildings. The new build element would sit to the rear of the listed buildings and whilst some demolitions of the roof structure would be required at the rear, these are roof areas that are only visible from buildings at the rear and are not visible from street level. The historic roof forms that are visible to the front of the host listed buildings are to be retained and will still visually read as the original roof scape when viewed from street level.
- 10.27 Leeds Civic Trust have also raised concerns about the principle of the scheme coming forward with the extension, stating that they consider that the existing buildings could be reused in their current layout without the need for the additional floor space brought by the extension. The upper floors of the Victoria and Commercial public house were last in use as a hotel but have been vacant for a number of years. The Applicant state they did consider reinstating the hotel use but decide that, with regard to current market demands for hotels, the limited room dimensions, the lack of en-suite bathrooms and the limited number of units that would be provided, mean that this was not a viable option. Although no financial viability appraisal has been submitted, the Applicant has stated that the buildings are in need of significant investment, to be made possible by way of the additional floor space, to make the refurbishment and reuse of the listed buildings viably possible and that the proposals would secure the long term use of these listed buildings.
- 10.28 Leeds Civic Trust have objected on the basis that the suggested minor beneficial effect of the screening of the rear of the existing blank wall of the block to the rear of the site is not sufficient justification for the extension. The Applicant states that the proposals bring the following public benefits in their justification to be considered in the balance against the level of harm;
- *Responding to market interest and securing the Site's optimum viable use in the long term, through the repurposing and re-use of the heritage assets in a sustainable manner.*
 - *Arresting the structural and cosmetic deterioration of the listed buildings which currently detracts from their significance through considerable investment in the repair, adaptation and reuse of these important heritage assets.*
 - *Preserving and enhancing the Site's positive heritage aspects, including the Great George Street facades and the Victoria Hotel public house, and ensuring that these are integral to the overall scheme design through a heritage-led design approach.*
 - *Creating a high quality, new building that is sympathetic and complementary to the Site's setting, being aligned with surrounding buildings forms and heights (e.g. Portland Place).*
 - *Enhancing the contribution that both listed buildings make to the character and appearance of the Conservation Area as a designated heritage asset, particularly through the removal of more recent elements that detract from the heritage*

significance of the Site, and the reinstatement of historic shop frontages to the Masonic Hall.

- Generating construction employment alongside additional end-user employment (in a range of jobs – office, management, catering, support services, retail etc.).*
- Providing new residential (student) accommodation that will support the Government's aim to significant boost supply, alongside reducing pressures on private (including family) residential accommodation elsewhere in the City.*
- Generation additional activity and vibrancy to Great George Street and additional expenditure spending in the local area, benefitting both the day and evening economies.*
- Providing a high-quality place to live with an over-provision of on-site amenity space compared to LCC's emerging (draft) standards alongside rooms that meet or (in most cases) exceed LCC's minimum (draft) sizes for student studios.*
- Uplifting the visual appearance of the internal courtyard through soft landscaping improvements, benefiting not only the new users of the proposals but surrounding businesses and residencies.*
- Increased public exposure to the historic significance of the Site through the use by students and the public accessibility of the ground floor commercial spaces.*
- Enhancing the relationship of the Site with Millennium Square through an increased visual appearance and high-quality design.*
- The proposals would help to alleviate pressures on private and family housing for student accommodation, consistent with policy objectives.*

- 10.29 Works to facilitate the proposals are required to the former Masonic Hall (the former Shennigans). This would result in the infilling of the void space between the ground and first floors, to create more useable floor space at the first floor level (the void was created for the pub use and as such is a later alteration and not an original feature). The gable end of former Masonic Hall (the former Shennigans) is to be refaced in high quality ashlar Yorkshire Stone, to improve its appearance and visual relationship to the surrounding heritage rich setting. The detailing in the new stonework would be positioned in such a way as to relate to floor levels of new build extension.
- 10.30 Objections has been received from the West Yorkshire Group The Victorian Society, Leeds Civic Trust and the Little Woodhouse Neighbourhood Plan Forum expressing concerns regarding the height, design, detailing and visual impact on the new build element of the scheme . They consider the new build element would be detrimental to the character and visual amenity of the host listed building and the wider area, which contains a high number of listed buildings and is set within the City Centre Conservation Area. The Applicant has stated that their approach to the development is underpinned by a heritage led ethos and that pre-application discussions with Historic England and Council Officers have resulted in the scheme being reduced in height from the scale proposed at pre-application stage. This has resulted in the submitted scheme being of 7 storeys, plus ground and basement levels.
- 10.31 The new build element is designed to be an infill piece, that would sit at the back of the listed buildings and be detailed to be a calm backdrop to them, as well as concealing the plain, visually low quality, rear wall of the Portland Place building that is to the rear. There would be limited views of the rear of the new building, due to its position infilling a space between existing buildings and it would be most visible from the south and east facing sides. In respect of views of the scheme from the east, the position of the proposals means it would be viewed as an infill between the ends of the existing buildings. The western elevation would face into a courtyard area, that is not visible from the street. In terms of its appearance and detailing, the proposals

seek to be refined and visually clean, such as to not compete with the rich, important detailing, of the listed buildings in its foreground.

- 10.32 The infill building would be dressed in Ashlar Yorkshire Stone, with stone coursing set out to express floor levels. The building would have a projecting bay to its southern face, with a regular pattern of floor to ceiling slot windows, of some 250mm in width, evenly spaced across it. To the rear of the infill, angled oriel windows would project out from the rear façade. As stated above, these would have areas of clear and opaque glass within them and would be angled to allow views across what will be a landscaped rear courtyard. To the end of the proposed infill building, where it faces Nelson Mandela Gardens, a regular grid of large glazed windows with deep reveals are proposed.
- 10.33 The impact of the new build on the setting of nearby listed buildings and the City Centre Conservation Area, is considered to bring a degree of harm, in respect of the loss of individual integrity of the buildings by their amalgamation. However, Historic England and Local Planning Authority Officers consider that the harm must be weighed against the benefit of bringing the upper floors of the host buildings back in to use, after them being vacant for a considerable period of time. In respect of the relationship to the surroundings of the site, Officers consider there to be a 'less than substantial harm' on the significance of the surrounding Listed Buildings, including the Grade I Listed Leeds Town Hall. This is also the Officer opinion, with regard to Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in respect of the impact on this part of the City Centre Conservation Area. It is considered that due to the fact that the scheme's design ensures that all views towards the heritage assets are maintained and that the nearby listed buildings and conservation area retain their own integrity as heritage assets, the proposals provide a contemporary addition, that has a positive impact on the quality of the area and the view, by way of screening the blank party wall to the adjacent Portland Place.
- 10.34 As such, Officers considered that the new build element will preserve the setting of the Town Hall and have a beneficial impact on the settings of 24 and 26 and 28 Great George Street, by providing a more fitting back drop in views from the south. In addition, Historic England have stated that they support the proposals on heritage grounds.
- 10.35 The West Yorkshire Group of The Victorian Society and the Little Woodhouse Neighbourhood Plan Forum, have also raised concerns regarding the level of detail submitted for the new shopfronts. The aim of the proposal is to reinstate a frontage of a design to reflect the original 1903 frontage, to the former Masonic Hall (the former Shenanigans). This new frontage would serve the new commercial uses and would be painted timber shop fronts with double glazed windows and doors. The arched windows that the new frontage will replace, whilst being attractive in their own right, they are not original features, having been installed in 1995 and do not quite match the proportions of the historic arched windows found elsewhere on the building, which they are trying to emulate. As such it is considered that reverting to the original design of the building's frontage would be more appropriate in heritage terms. The full details and materials of the shopfronts would be subject to Planning Conditions to ensure that they are high quality and are architecturally and historically appropriate.
- 10.36 Therefore, whilst it is acknowledged that there is harm in the losses brought by the demolitions to allow the conversion and extension, this is considered to be less than substantial. It is also considered that the harm is outweighed by the public benefits of the proposals including providing high quality student accommodation and

commercial units including retaining the public house use, reinstating the original design of the shopfronts, repair of fabric protecting the building from risk and the refacing of the gable of 24 and 26 Great George Street and bringing the currently empty historic buildings back in to use. In addition, the new build element would be a high quality intervention that will be designed to be respectful of the host listed building

10.37 Landscape proposals

10.38 The Little Woodhouse Neighbourhood Plan Forum express concerns about how the scheme will provide green space and suggest a green wall to the blank gable end facing Calverley Street. In respect of placing a green wall to the Calverley Street gable end, the Applicant has stated that they have chosen to enhance the courtyard areas to the rear in preference to this, as that would have a more significant impact on the outlook and amenity of the student residents.

10.39 To the rear of the building it is proposed to place green/soft landscaped courtyard areas, behind the new infill block. These areas would be visible from the rear windows of the new student apartments, but due to their location and the layout of the scheme, would only be accessible from individual apartments. These areas would be planted with bamboo hedges, which will aid privacy, living green walls with a managed irrigation system fed by rainwater and low maintenance shade tolerant planting, such as ferns and hostas and a silver birch in a large format planter, all also to have a managed irrigation system fed by rainwater. A part of the larger of the roof terraces will also be laid with decking to create a seating area of the adjacent unit's occupants.

10.40 In addition, the area to the existing green/soft landscape area to the eastern end of the site will be refreshed with the addition of low level, ground covering shrubs and two replacement trees. Two existing trees, due to their very close proximity to the end of the buildings, need to be removed to allow the demolition and construction works to take place. Policy LAND2 requires a 3 for 1 replacement ratio for removed trees. The site does not have enough space to provide 6 trees and can only accommodate 3 (1 to the courtyard and 2 to the Calverley Street side of the site). As such the remaining requirement for trees will be addressed as a monetary contribution (based on CAVAT - Capital Asset Valuation of Amenity Tree) for the sum of £9,824.00, to come forward as a S106 obligation. Full details of all hard and soft landscaping, including size and species (to ensure suitability to the urban and shaded environments) will be subject to Planning Conditions.

10.41 Sustainable Transport and Travel Planning

10.42 The site is in a sustainable location within Leeds City Centre being within walking distance of a number of nearby bus stops, the bus station and interchanges and the train station. The site is also close to a number of key cycling routes through the city centre, as well as being within walking distance of a number of existing City Centre multi storey car parks. As such the proposals do not provide any on site car parking. Secure cycle parking, at ground floor level, is to be provided as part of the proposals in accordance with policy requirements. As such, there would be 13 student long stay, 4 student short stay, and 5 Use Class E spaces. Full details of all such provision will come forward via a Planning Condition.

10.43 The Influencing Travel Behaviour Team have advised that due to the scheme being below the threshold, a Travel Plan is not required for this proposal.

- 10.44 The Little Woodhouse Neighbourhood Plan Forum have expressed concerns regarding the potential for high vehicle movements resulting from the proposed use. There is an existing layby across Great George Street from the site, to the rear of the Town Hall and on-street car parking bays to Portland Street that can be utilised. However, a Management Plan for student drop off and pick up at start and end of term as well as details for managing vehicle movements related to servicing and deliveries will be required to be submitted under a Planning Condition.
- 10.45 Bin storage will be internal, with collections accessed from the existing roller shutters to the Portland Street side of the site. There are different uses within the development, which would have different recycling and waste requirements. Whilst there is estimated to be sufficient space to accommodate the needs of these different use, the extent of provision will not be known until tenants are taking over the spaces. As such full details of recycling and waste management will be required via a Planning Condition.
- 10.46 Sustainability and Climate Change
- 10.47 Members will be aware that the Council has declared a Climate Emergency. Existing planning policies seek to address the issue of climate change by ensuring that development proposals incorporate measures to reduce the impact of non-renewable resources.
- 10.48 The Applicant has stated in the submitted Energy & Sustainability Statement (ref: 18948-MMEP Energy & Sustainability Statement) that, whilst they have explored all possible energy scenarios, they will be unable to meet the requirements of Core Strategy Policy EN1 to reduce total predicted carbon dioxide emissions so as to achieve 20% less than the Building Regulations Part L Target Emission Rate. This, they advise, is due to the constraints brought by the redevelopment of listed buildings. Their analysis as set out in the below table, indicates that the best option for carbon emissions reduction would be to connect to the Leeds PIPES district heating scheme.

Calculated Emission Rate	Calculated CO ₂ Emissions (kgCO ₂ /m ² /annum)		
	Communal Gas Boilers	Communal Air Source Heat Pumps	Leeds PIPES
Notional Building	52.5	47.3	49.3
Target Emission Rate (TER)	52.5	47.3	49.3
Building Emission Rate (BER)	117.8	110.8	104.0

The report concludes that “*The low carbon energy from the district heating network providing 100% of the hot water demand along with solar photovoltaics and Variable Refrigerant Flow air source heat pumps contribute 348,511.80kWh per annum which represents 34.60% of the development's total energy consumption of 1,007,241.69kWh per annum. This exceeds the minimum requirements of 10% of the predicted energy needs of the development being from low carbon energy, criteria (ii) of Policy EN1*”. As such although the 20% less than the Building Regulations Part requirement of Policy EN1 cannot be achieved, the 10% predicted energy use from low carbon energy can be met and exceeded.

- 10.49 The Applicant has, however, advised that the scheme can provide the following sustainability measure;
- Improve U-values of the external envelope.
 - Improve U-value of glazing.
 - Improved efficiency of the space heating, cooling and hot water.
 - Use of energy efficient lighting.
 - Use of intelligent lighting controls.
 - Use of variable speed pumps, fans and drives to match supply and demand.
 - » Use of heat recovery to mechanical ventilation systems.
 - Solar photovoltaics, inclination 15, module efficiency 16% generating 9,653.28kWh per annum which cover the maximum roof area available on the new roof extension.
 - VRF air source heat pumps to ground floor spaces to provide a low carbon source of heating and cooling or
 - Central communal air source heat pumps providing a low carbon source for 100% of the hot water demand or
 - Connection to Leeds PIPES district heating network providing a low carbon source for 100% of the hot water demand.
- Full details of all sustainability measures will be addressed via a Planning Condition.
- 10.50 The Applicant has also expressed their aim to meet the second paragraph of Policy EN2 in respect of water consumption but have requested that this be Conditioned to ensure an accurate calculation can be undertaken once the specific details of the sanitary equipment and brassware are available. Such a Planning Condition will be applied.
- 10.51 In respect of Policy EN4, as listed above the Applicant has stated that they are looking at the feasibility of connecting to the Leeds PIPES district heating network and as such, they have already commenced discussions with the Leeds PIPES Team.
- 10.52 In respect of Policy EN8, no car parking is proposed at the site and as such there would be no electric vehicle charging points.
- 10.53 Access & Inclusion
- 10.54 The Developer has confirmed that the required level of accessible accommodation will be provided. In addition, accessible entrances will be created and a new circulation core with lift access is to be created to all floors of the student accommodation. The scheme will comply with the requirements of Core Strategy Policy H10 and Part M of the Building Regulations in respect of providing the right level and types of accessible accommodation. In addition, 5% of the cycle parking will be designated disabled cycling parking. Full details of the measures to ensure access for all residents, staff and visitors is achieved, will be required via a Planning Condition.
- 10.55 The entrance to the former Victoria and Family Commercial Hotel is stepped and this detail is part of the buildings historic and architectural fabric. As such, any intervention here, such a ramp or lift would have a significant detrimental impact on the special character, historic and architectural detailing of this important listed building. Therefore, it is not proposed to alter these steps and a management plan will be required under Planning Condition to address how full accessibility will be achieved. The new commercial unit to the former Shennigans will have a flat and level entrance.
- 10.56 Safety and Security

10.57 The Applicant has stated that the buildings will be staffed. Officers consider this to be acceptable in principal. Separate secure building access and egress arrangements are proposed, which will separate the residential use entrances from the E(b) and Sui Generis (bar / drinking establishment) uses.

10.58 Section 106 Legal Agreement

10.59 A legal test for the imposition of planning obligations was introduced by the Community Infrastructure Levy Regulations 2010. These provide that a planning obligation may only constitute a reason for granting planning permission for the development if the obligation is -

- (a) Necessary to make the development acceptable in planning terms,
- (b) Directly related to the development; and
- (c) Fairly and reasonably related in scale and kind to the development.

10.60 There is a requirement for the following obligations;

- 1. Employment and training of local people
- 2. Occupation of the residential units by students only
- 3. CAVAT sum for replacement tree requirement of £9,824.00
- 4. Off site highways works contribution of £41,000.00, towards nearby bi-directional cycle lanes and improved crossings for both pedestrians and people on bikes
- 5. Visitor cycling or e-bikes provision in the vicinity of the development contribution of £10,000.00
- 6. management fee.

10.61 The development is Community Infrastructure Levy (CIL) liable and is estimated to be in the region of £5162.02. CIL is generally payable on the commencement of development. The payment of CIL is not material to the determination of the planning application. Accordingly, this information is presented simply for Members' information only.

11.0 CONCLUSION

11.1 In conclusion and on balance, it is considered that the proposals are appropriate in respect of the mix of uses and the scale, design and style of the alterations. The resulting scheme would be a high quality, appropriate development, with an appropriate use, that would ensure the continue and future use of these important listed buildings. .

11.2 Therefore, the proposal is considered to be in accordance with the Development Plan and is considered to be acceptable and is recommended for approval, subject to the conditions set out in the Appendix.

Background Papers:

PREAPP/20/00471, 21/08693/FU, 21/08694/LI



Appendix - Draft Conditions

CITY PLANS PANEL

Subject:

Planning Application 21/08693/FU for a change of use to provide student accommodation, flexible commercial (Class E) and drinking establishment (Sui Generis) use; the partial demolition of existing buildings; erection of a rear extension to Nos. 24-26 Great George Street to provide student accommodation; external alterations; hard and soft landscaping works; and associated works at 24 - 28 Great George Street, Leeds, LS1 3DL

Listed Building Application 21/08694/LI for a change of use to provide student accommodation, flexible commercial (Class E) and drinking establishment (Sui Generis) use; the partial demolition of existing buildings; erection of a rear extension to Nos. 24-26 Great George Street to provide student accommodation; external alterations; hard and soft landscaping works; and associated works at 24 - 28 Great George Street, Leeds, LS1 3DL

21/08693/FU

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans Schedule.

For the avoidance of doubt and in the interests of proper planning.

3) No works shall begin on the relevant phase of development until a Statement of Demolition and Construction Practice for that phase has been submitted to and approved in writing by the Local Planning Authority. The Statement of Demolition and Construction Practice shall include full details of:

- a) details of any phasing of the development
- b) the means of access, location of site compound, storage and parking (including workforce parking), means of loading and unloading of all contractors' plant, equipment, materials and vehicles and associated traffic management measures

- c) the positions and types of cranes and details of excavations and earthworks
- d) the methods to be employed to prevent mud, grit and dirt being carried onto the public highway from the development hereby approved;
- e) measures to control the emissions of dust and dirt during construction;
- f) location of site compound, and its means of enclosure and of safety barriers including soundproofing barriers and vehicle crash barriers
- g) details of plant equipment/storage as well as details of any vibro-impact machinery;
- h) details and location of contractor and sub-contractor parking and of the management of abnormal loads
- i) a local resident and business communications strategy for the duration of the works
- j) how this Statement of Demolition and Construction Practice will be made publicly available by the developer

The approved details shall be implemented at the commencement of work on site and shall thereafter be retained and employed until completion of works on site. The Statement of Construction Practice shall be made publicly available for the lifetime of the construction phase of the development in accordance with the approved method of publicity.

In the interests of residential amenity of occupants of nearby property in accordance with adopted Core Strategy Policy T1 and the National Planning Policy Framework.

4) Demolition and construction activities shall be restricted to 08.00 to 18.00 hours Monday to Friday and 08.00 to 13.00 hours on Saturdays with no works on Sundays and Bank Holidays.

In the interests of amenity and highway safety.

5) Prior to the installation of any external facing materials, full details and samples of all external walling, including samples of masonry for refacing of the gable wall of 24 and 26 Great George Street, glazing (including anti-glare specifications), the new shop fronts and roofing materials have been submitted to and approved in writing by the Local Planning Authority. Samples shall be made available on site prior to the commencement of building works, for inspection by the Local Planning Authority which shall be notified in writing of their availability. The building works shall be constructed from the materials thereby approved.

In the interests of visual amenity.

6) Prior to the installation of any external surfacing materials, full details and samples of all surfacing materials to the public realm areas have been submitted to and approved in writing by the Local Planning Authority. The surfacing works shall be constructed from the approved materials.

In the interests of visual amenity.

7) Prior to the installation of any external facing materials, full details of the following have been submitted to and approved in writing by the Local Planning Authority-

- (i) 1 to 20 scale drawings of the detail of roof lines and cappings, any eaves treatments and ground floor treatment
 - (ii) 1 to 20 scale section drawings of each type of window
 - (iii) 1 to 20 scale section drawings of all new external doors and entrances
 - (iv) 1 to 20 scale section drawings of the junctions of different materials
 - (v) 1 to 20 scale section drawings of the junctions of new build elements with the original buildings.
 - (vi) 1 to 20 scale section drawings of the new shopfront
- The works shall be carried out in accordance with the details thereby approved.

In the interests of visual amenity.

8) The development shall be undertaken in accordance with the Proposed Drainage Strategy set out in the Roscoe's Foul & Surface Water Drainage and Flood Risk Assessment Revision 2 dated October 2021 unless otherwise submitted and approved in writing with the Local Planning Authority. The works shall be fully implemented in accordance with the approved scheme before the development is brought into use.

To ensure sustainable drainage and flood prevention in accordance with NRWLP policy Water 7 and GP5 of the UDP

9) Prior to their installation details of glazing and any mechanical ventilation package shall be submitted to and approved in writing by the Local Planning Authority. The package shall be designed to meet the following criteria:
Living Rooms 0700-2300 35dB LAeq 16hr.
Bedrooms 2300-0700 30dB LAeq 8hr, and 45dB LAmax more than 10 times per night
The package shall be installed and implemented in accordance with the approved details prior to the commencement of the use of the building and shall be maintained and retained thereafter for the lifetime of the development.

In the interests of the amenity of future occupiers of the residential dwellings.

10) The development hereby permitted shall not be occupied until a scheme detailing the method of storage and disposal of litter and waste materials, including recycling facilities, has been submitted to and approved in writing by the Local Planning Authority. The details shall include a description of the facilities to be provided including, where appropriate, lockable containers, details of recyclable materials collection with timescales. The approved scheme shall be implemented before the development is brought into use and no waste or litter shall be stored or disposed other than in accordance with the approved scheme.

In the interests of residential amenity and to promote recycling.

11) No external storage of any commercial or residential refuse or recycling bins shall take place on any public carriageway or public footway around/adjacent to the site and internal bin store areas will be provided as part of the development.

In the interests of amenity, visual amenity and public safety, in accordance with adopted Leeds UDP Review (2006) policy GP5 and the National Planning Policy Framework.

12) No installation of externally mounted plant or equipment shall take place until details of the installation and/or erection of any air conditioning or extract ventilation system, flue pipes, window cleaning equipment or other excrescences proposed to be located on the roof or sides of the building, including details of their siting, design, noise attenuation, and external appearance have been submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance with the approved details and retained as such thereafter.

Plant and machinery operated from any commercial premises shall limit noise to a level at least 5dBA below the existing background noise level (L90) when measured at the nearest noise sensitive premises with the measurements and assessment made in accordance with BS4142:1997.

Hot food uses will often require an extract ventilation system to deal with odour and fumes. Guidance on suitable design is provided in DEFRA guidance at:
<http://www.defra.gov.uk/publications/files/pb10527-kitchen-exhaust-0105.pdf>

In the interests of amenity and visual amenity, in accordance with Saved Unitary Development Plan Policies GP5, BD2 and BD4, Leeds Core Strategy policy P10 and the NPPF.

13) No works shall begin on the relevant phase of the development until:

- (i) a recycle material content plan (using the Waste and Resources Programme's (WRAP) recycled content toolkit);
- (ii) a Site Waste Management Plan (SWMP) for the demolition and construction phases,
- ((iii) The details of measures to achieve a water standard of 110 litres per person per day (subject to feasibility),

are submitted to and approved in writing by the Local Planning Authority
Within 6 months of the first occupation of each phase a post-construction review statement for that phase shall be submitted and approved in writing by the Local Planning Authority. The development and buildings comprised therein shall be maintained and any repairs shall be carried out all in accordance with the approved detailed scheme and post-completion review statement or statements.

To ensure the adoption of appropriate sustainable design principles in accordance with Core Strategy Policies EN1 and EN2, Leeds Sustainable Design and Construction SPD and the NPPF.

14) No external lighting shall be installed unless a scheme has previously been approved in writing by the Local Planning Authority. No lighting fitment shall be installed on the site in such a way that the source of light is directly visible from nearby residential properties or is a hazard to users of adjoining or nearby highways. The scheme shall be installed and retained thereafter in accordance with the approved details.

In the interests of amenity.

15) Prior to occupation full details of the means of access into and out of the buildings for disabled persons, shall be submitted to and approved in writing by the Local Planning Authority.

In the interests of access for all

16) The development shall not be occupied until full details of a sound insulation scheme designed to protect the amenity of residential occupants of the proposed development from noise emitted from the below and nearby commercial premises shall be submitted to and approved in writing by the Local Planning Authority. The assessment should include noise mitigation measures as appropriate (e.g. glazing/ventilation strategy) and recognising any constraints imposed by the existing listed buildings.

To protect the amenity of residential occupiers.

17) The development shall not be occupied until a Servicing and Delivery Management Plan (including timescales and detailed loading bay proposals) has been submitted to and approved in writing by the Local Planning Authority. The plan shall be fully implemented and operated in accordance with the approved timescales.

To ensure the free and safe use of the highway.

18) Notwithstanding the approved details, works above the ground floor slab level (excluding demolition) shall not commence until full details of cycle parking and facilities have been submitted to and approved in writing by the Local Planning Authority. The approved cycle parking and facilities shall be provided prior to first occupation of the development and retained thereafter for the lifetime of the development.

In the interests of highway safety and promoting sustainable travel opportunities.

19) The development shall not be occupied until a full Student Move-In and Move-Out Procedure Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall be fully implemented and operated in accordance with the approved timescales and details.

To ensure the free and safe use of the highway.

20) No development shall commence until;
a) a scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past coal mining activity, and;
b) any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is safe and stable for the development proposed.

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

To ensure the safety and stability of the proposed development and surrounding areas, and in accordance with the National Planning Policy Framework 2012 and Leeds Unitary Development Plan Review Policy GP5.

21) Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made, safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

To ensure the safety and stability of the proposed development and surrounding areas, and in accordance with the National Planning Policy Framework 2012 and Leeds Unitary Development Plan Review Policy GP5.

22) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) or any provision in any statutory instrument revoking or re-enacting that Order, planning permission shall be obtained before there is any change of use to research and development of products or processes and Industrial processes within Use Class E or areas or places for indoor sport or recreation, other than a gym (not involving motorised vehicles or firearms) as detailed in the Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020 or any order revoking or re-enacting that order with or without modification.

To control uses which could be harmful to the vitality and viability of the city centre and to ensure any new uses accord with the requirements of the Core Strategy.

23) Notwithstanding the details on the hereby approved plans, landscape works shall not take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority, prior to occupation of the student residential premises and following the completion of a full survey and detailed appraisal of the existing structure in the area containing the proposed courtyard landscaping (as shown on the Plan referenced PROPOSED LANDSCAPE PLAN 20547_P450 REV A). The final details of the proposed landscaping features will be co-ordinated with the load capacity of the existing floor plate/building, in line with the recommendations of a suitably qualified structural engineer.

Hard landscaping works shall include

- ((a) proposed finished levels and/or contours,
- (b) means of enclosure,
- (c) pedestrian access and circulation areas,
- (d) hard surfacing areas,
- (e) minor artefacts and structures (eg, furniture, play equipment, refuse or other storage units, signs, lighting etc.),
- (f) proposed and existing functional services above and below ground (e.g. drainage, power cables, communication cables, pipelines etc., indicating lines, manholes, supports etc.).

Soft landscape works shall include

(g) planting plans,

(h) written specifications (including cultivation and other operations associated with plant and grass establishment),

(i) schedules of plants noting species, planting sizes and proposed numbers/densities,

(j) soil volumes for tree pits and planted beds

(k) implementation programme.

Hard and soft landscaping works shall be carried out in accordance with the approved details prior to the occupation of any part of the development in accordance with the programme agreed with the Local Planning Authority and to a reasonable standard in accordance with the relevant provisions of British Standard BS 4428:1989 Code of Practice for General Landscape Operations or other recognised codes of good practice.

Standards for tree soil volumes can be found in LCC Urban Tree Planting Guidance on the Landscape Planning website:

<https://www.leeds.gov.uk/planning/conservation-protection-and-heritage/landscape-planning-and-development>

To ensure the provision and establishment of acceptable landscape in accordance with adopted Leeds Core Strategy Policy P12, Saved Leeds Unitary Development Plan Review (2006) policies GP5 and LD1, Leeds Natural Resources and Waste DPD, and the National Planning Policy Framework.

24) No hard or soft landscape works shall take place until a plan, schedule and specification for long term landscape management has been submitted to, and approved in writing by, the Local Planning Authority. This shall include reference to planting and hard landscaped areas, including paving, fencing and other features. The schedule shall identify the frequency of operations for each type of landscape asset and reflect the enhanced maintenance requirement of planted areas during the establishment period. It shall provide for an annual inspection during late summer for any areas of failed tree or shrub planting, and the identification of the replacements required in the autumn planting season. Prior to planting, all landscaped areas shall be cultivated and maintained in a weed free condition by mechanical cultivation or chemical control. Maintenance shall be carried out thereafter in accordance with the approved management plan.

To ensure the provision and establishment of acceptable landscape in accordance with adopted Leeds Core Strategy Policy P12, Saved Leeds Unitary Development Plan Review (2006) policies GP5 and LD1, Leeds Natural Resources and Waste DPD, and the National Planning Policy Framework.

25) If within a period of five years from the date of the planting of any tree/hedge/shrub that tree/hedge/shrub, or any replacement, is removed, uprooted or destroyed or dies, or becomes, in the opinion of the Local Planning Authority, seriously damaged or defective, another tree/hedge/shrub of the same species and size as that originally planted shall be planted in the same location as soon as reasonably possible and no later than the first available planting season, unless otherwise agreed in writing by the Local Planning Authority.

To ensure maintenance of a healthy landscape scheme, in accordance with adopted Leeds Core Strategy Policy P12, retained Leeds Unitary Development Plan Review (2006) policies GP5 and LD1, the Leeds Natural Resources and Waste DPD, and the National Planning Policy Framework.

21/08694/LI

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans Schedule.

For the avoidance of doubt and in the interests of proper planning.

3) Prior to the installation of any external facing materials, full details and samples of all external walling, including samples of masonry for refacing of the gable wall of 24 and 26 Great George Street, glazing (including anti-glare specifications), the new shop fronts and roofing materials have been submitted to and approved in writing by the Local Planning Authority. Samples shall be made available on site prior to the commencement of building works, for inspection by the Local Planning Authority which shall be notified in writing of their availability. The building works shall be constructed from the materials thereby approved.

In the interests of visual amenity.

4) Prior to the installation of any external surfacing materials, full details and samples of all surfacing materials to the public realm areas have been submitted to and approved in writing by the Local Planning Authority. The surfacing works shall be constructed from the approved materials.

In the interests of visual amenity.

5) Prior to the installation of any external facing materials, full details of the following have been submitted to and approved in writing by the Local Planning Authority-

- (i) 1 to 20 scale drawings of the detail of roof lines and cappings, any eaves treatments and ground floor treatment
- (ii) 1 to 20 scale section drawings of each type of window
- (iii) 1 to 20 scale section drawings of all new external doors and entrances
- (iv) 1 to 20 scale section drawings of the junctions of different materials
- (v) 1 to 20 scale section drawings of the junctions of new build elements with the original buildings.
- (vi) 1 to 20 scale section drawings of the new shopfront

The works shall be carried out in accordance with the details thereby approved.

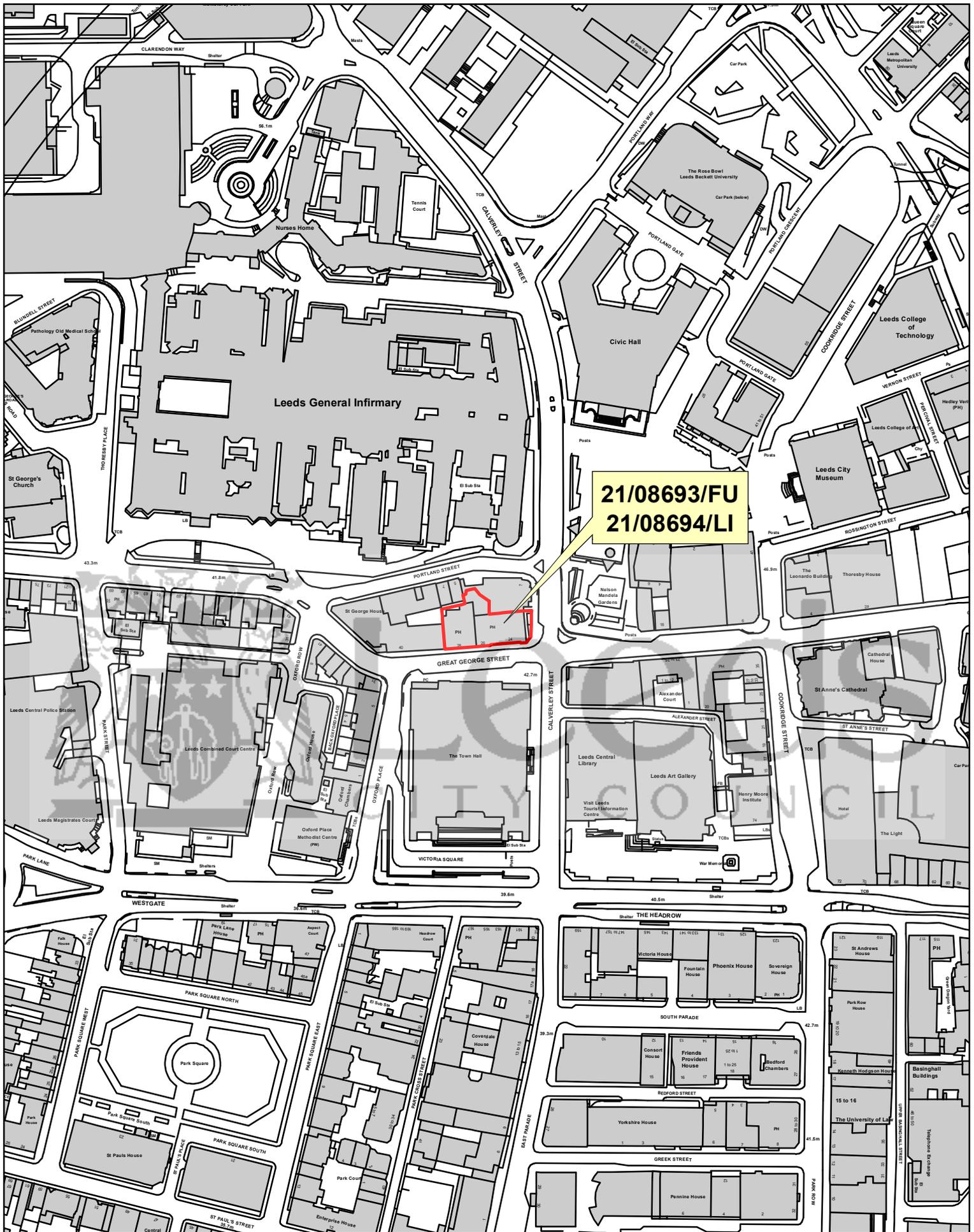
In the interests of visual amenity.

6) Prior to first occupation of the development an architectural recording document shall be deposited with the West Yorkshire Archaeological Services for inclusion on the Historic Environment Record and notification of this action shall be made in writing to the Local Planning Authority.

In the interest of the character and the proper recording of historic and architectural details of the host listed building and in accordance with the National Planning Policy Framework and Core Strategy Policies P10 and P11.

7) Notwithstanding the details on the hereby approved plans, prior to commencement of any works affecting the existing masonry, samples and a method statement of masonry repairs shall be submitted to and approved in writing by the Local Planning Authority. The works shall be carried out in accordance with the approved details.

To ensure the most appropriate method is used to repair the retained existing masonry of 24 and 26 Great George Street and in the interests of visual amenity.



21/08693/FU
21/08694/LI

CITY PLANS PANEL

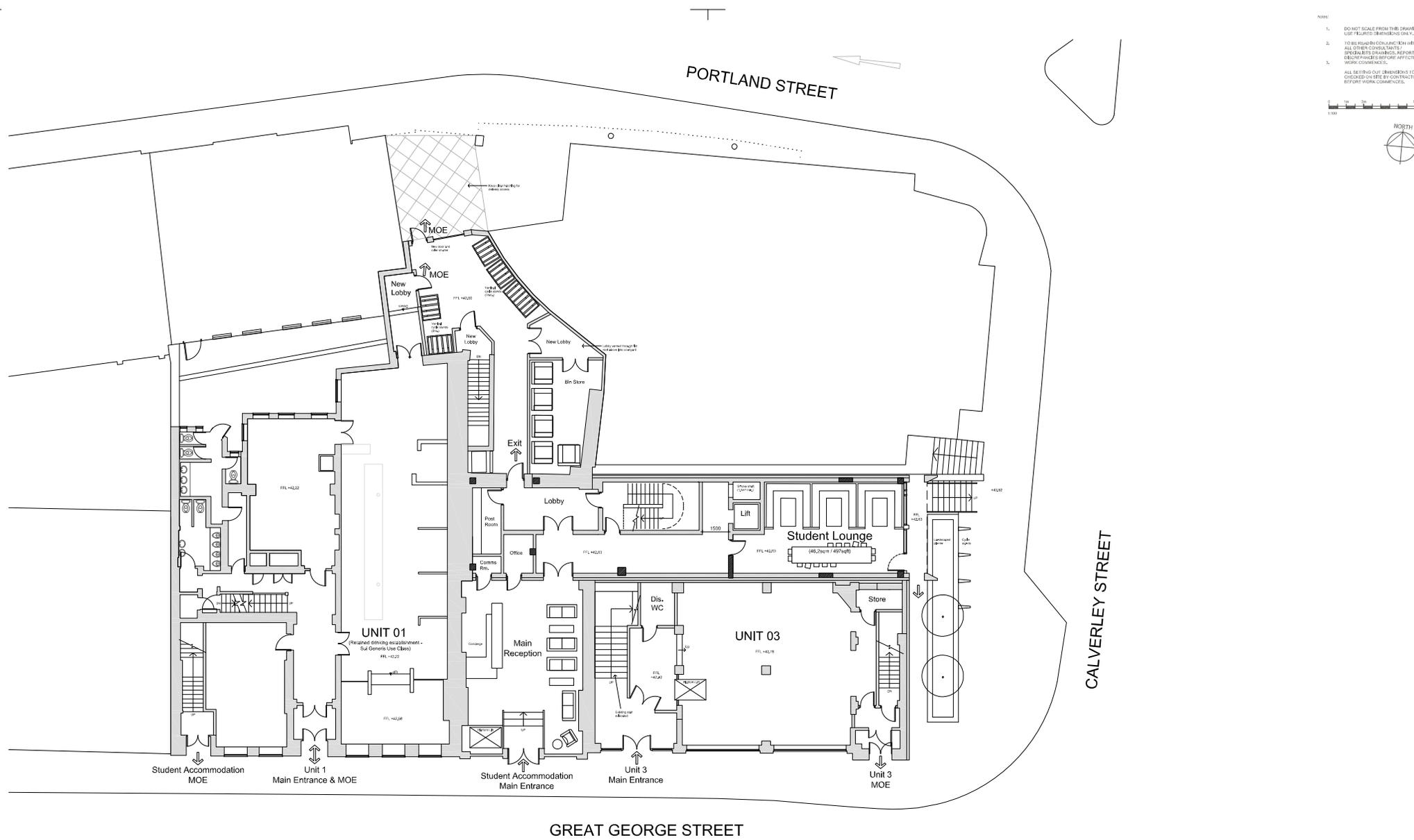
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SCALE : 1 / 2500



NOTE:
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 2. TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S SPECIALIST DRAWINGS. REPORT ANY DISCREPANCIES BEFORE AFFECTED WORK COMMENCES.
 3. ALL SETTING OUT DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES.



GREAT GEORGE STREET

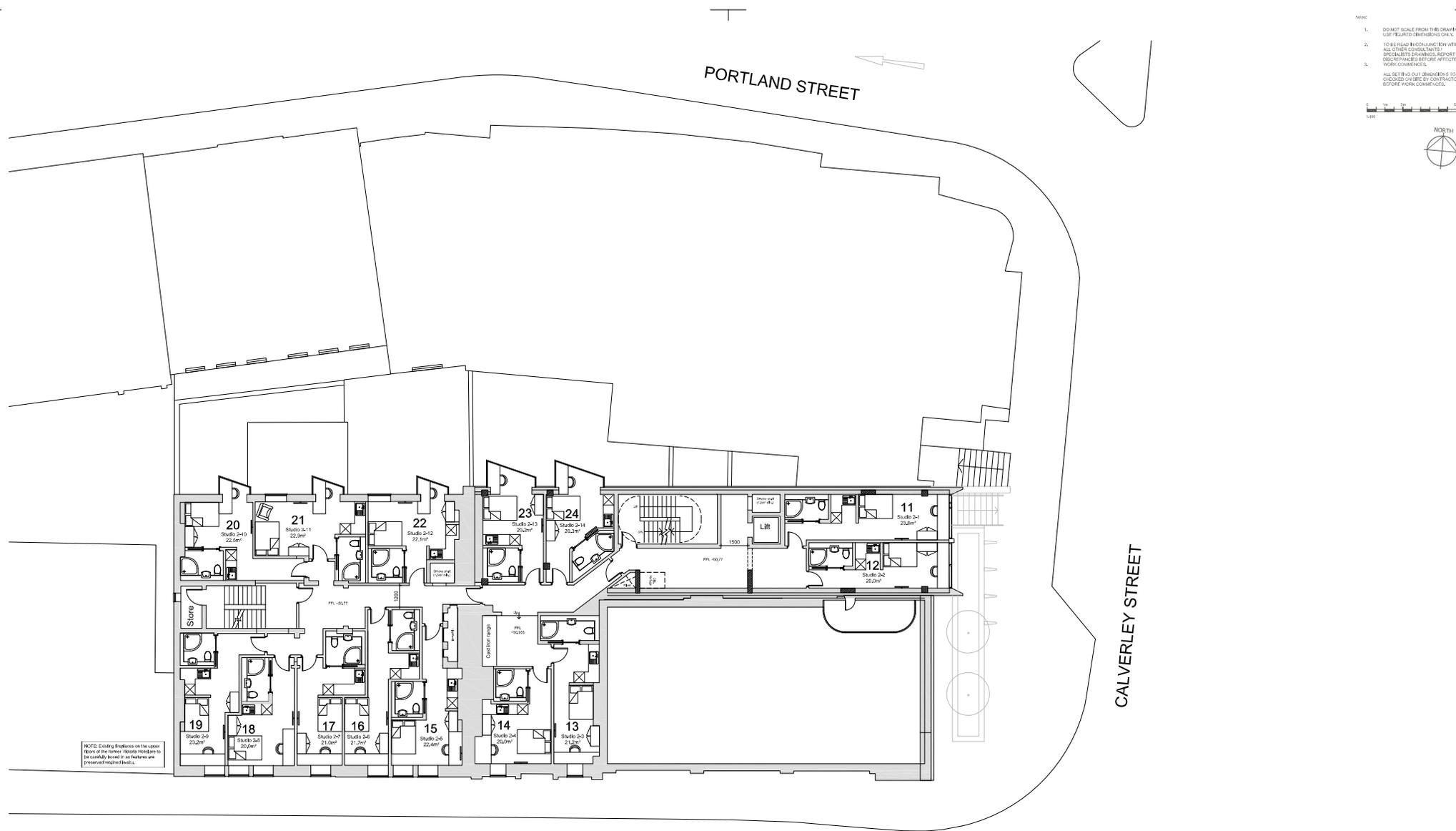
PROPOSED
Ground Floor Plan

CLIENT | Sterling Precinct
 PROJECT | Great George Street, Leeds
 TITLE | Proposed Ground Floor Plan
 NUMBER | 20547_P230
 REVISION | C
 STATUS | Planning
 SCALE | 1:100 @ A1
 DATE | 09/08/21
 DRAWN BY | SL
 DATE, DRAWN, CHECK | CHECKED BY | JC

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REVISION	Description	Date	By	Check
C	Description amended to List 1, building code to 'see Calverley dev.'	15/10/21	S.L.	J.C.
B	Updated planning issue	12/10/21	S.L.	J.C.
A	Planning Issue	01/10/21	S.L.	J.C.
-	Planning Draft	09/08/21	S.L.	J.C.

- NOTE
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 - ALL SETTING OUT DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES.



NOTE: Existing fixtures on the upper floor of the former studio reception to be carefully boxed in as fixtures are preserved/reused walls.

PROPOSED
Second Floor Plan

GREAT GEORGE STREET

PORTLAND STREET

CALVERLEY STREET

CLIENT	Se7en President
PROJECT	Great George Street, Leeds
TITLE	Proposed Second Floor Plan
NUMBER	20547_P232
REVISION	C
STATUS	Planning
SCALE	1:100
DATE	09/09/21
DATE, DRAWN, CHECK	09/09/21 S.J.L. I.C.
CHECKED BY	I.C.

C Notes added to address comments issued by LIC Conservation Officer.
 B Planning consultation amendments.
 A Planning issue
 - Planning Draft

seven.

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